



NOTICE OF DECISION

October 14, 2021

Sean Lake
Pew and Lake, PLC
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204

RE: DR17-1099-S-A (PDR2021-00057): 4700 VAL VISTA COMPREHENSIVE SIGN PLAN (CSP)
Dear Mr. Lake:

Staff has reviewed the drawings received for Administrative Design Review regarding 4700 Val Vista Comprehensive Sign Plan (CSP) Amendment located at the northwest corner of Val Vista Drive and Queen Creek Road in the Shopping Center (SC) zoning district. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. Signs shall conform to the approved Comprehensive Sign Plan as attached.

If you have any questions regarding the above, please contact me at (480) 503-6742 or Kristen.Devine@gilbertaz.gov.

Sincerely,

Kristen Devine
Planner II

Attachments:

1. 4700 Val Vista CSP stamped October 14, 2021



COMPREHENSIVE SIGN PROGRAM AMENDMENT

NWC OF SOUTH VAL VISTA DRIVE & EAST QUEEN CREEK ROAD

GILBERT, ARIZONA

AUGUST 2021

APPROVED

Administrative Design Review

Case # DR17-1099-S-A (DR21-57)

Date 10/14/2021

CSP PREPARED FOR:
Glenwood Commercial Real Estate



CSP AMENDMENT PREPARED BY:
Andrew Chi Planning



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SITE INFORMATION

PROJECT
4700 Val Vista
NWC of S. Val Vista Drive & E. Queen Creek Road
Gilbert, Arizona

JURISDICTION



TOWN OF GILBERT CASE NUMBERS:
Original CSP: DR18-164S
CSP Amendment: DR21-57

ASSIGNED ADDRESSES
4690, 4700, 4710, 4730, 4760, 4770 S. Val Vista Drive
Gilbert, Arizona 85297

PARCEL NUMBERS
APN 304-57-916 (Current Lot 1)
APN 304-57-917 (Current Lot 2)

SUBDIVISION
Vista Del Oro Tract W Minor Land Division
MCR Number: 1376-39

NOTE: As of August 4, 2021, a proposed Minor Land Division currently under review with the Town of Gilbert will divide Lot 2 into two (2) lots: Lot 2A and Lot 2B, with Lot 2B the location of the new convenience store & gas station user. Once the MLD is recorded at the Maricopa County Recorder's Office, a new MCR number and APN will be assigned to Lot 2A and Lot 2B.

TOTAL AREA
Lot 1: 152,278 Net Square Feet (3.50 Net Acres)
Future Lot 2A: 332,909 Net Square Feet (7.64 Net Acres)
Future Lot 2B: 79,212 Net Square Feet (1.82 Net Acres)
Total: 564,399 Square Feet (12.96 Acres)

TOWN OF GILBERT ZONING
SC
Shopping Center District

OWNER INFORMATION



Glenwood Commercial Real Estate
4360 E. Brown Rd. Suite 106
Mesa, Arizona 85205

Contact: Travis Carter
Phone: 480.775.4650
Email: travis@glenwood.com

SIGNAGE CONSULTANTS



Andrew Chi Planning
7807 E. Vernon Ave.
Scottsdale, Arizona 85257

Contact: Andrew Chi
Phone: 602.299.6148
Email: andrew@andrewchiplanning.com

Date of CSP Amendment Production: 8/6/2021



Summit West Signs
4049 E. Presidio St. Suite 101
Mesa, Arizona 85215

Contact: Amber Elliott
Phone: 480.926.3465 x230
Email: amber@summitwestsigns.com

ORIGINAL CSP PREPARED BY:

TRADEMARK

Trademark Visual, Inc.
3825 S. 36th St.
Phoenix, Arizona 85040

Contact: Dan Kronenberg
Phone: 602.272.5055
Email: dkronenberg@trademarkvisual.com

Original CSP Town of Gilbert Case Number: DR18-164S

APPROVED
Administrative Design Review
Case # DR17-1099-S-A (DR21-57)
Date 10/14/2021

NARRATIVE & REQUEST

Date: August 4, 2021

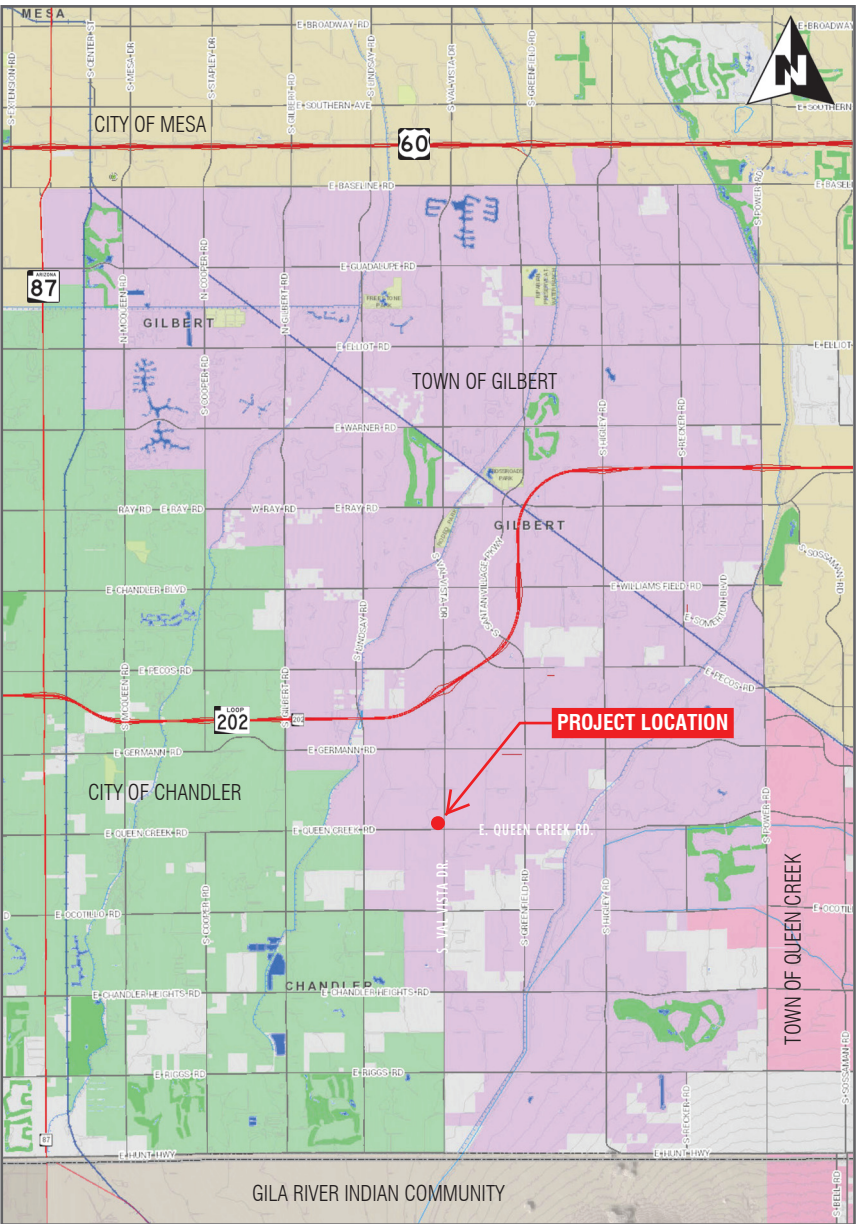
4700 Val Vista is a planned 564,397 square foot (12.96 acre) commercial development in Gilbert, Arizona, with Shopping Center (SC) zoning that consist of a recently constructed modern self-storage facility, a proposed convenience store and gas station, and four (4) planned commercial retail pad buildings, located at the northwestern corner of S. Val Vista Drive and E. Queen Creek Road.

The purpose of this Comprehensive Sign Program Amendment is to update the original 2018 4700 Comprehensive Sign Program (Case# DR18-164S & PDR-2018-00164), update the CSP site plan to incorporate a new planned convenience store and gas station that was not shown on the original CSP site plan, and carry-over the sign standards and guidelines from the original Comprehensive Sign Program to this current Amendment to govern the current and future freestanding and building signs at this development.

Andrew Chi Planning, on behalf of Glenwood Commercial Real Estate, is pleased to submit this Comprehensive Sign Program Amendment in support of an Administrative Design Review application by the Town of Gilbert Planning Department. The proposed CSP Amendment will be a positive addition to the Gilbert community by establishing a unique, high quality sign program that will benefit the developing center and its various tenants and uses.

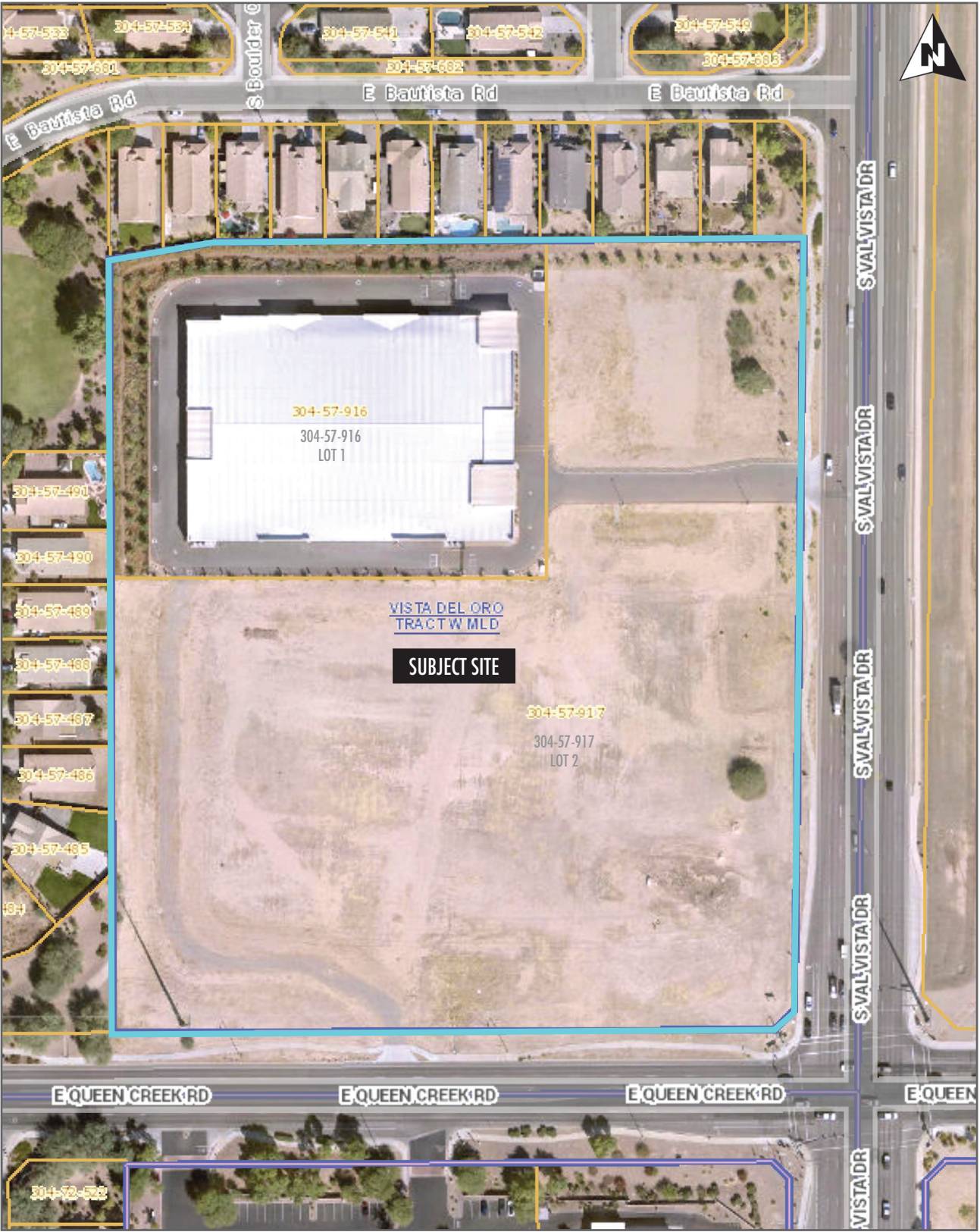
The 4700 Comprehensive Sign Program Amendment will ensure an attractive multi-user environment that includes beautifully designed freestanding signs and strategically placed building signs to promote economic development and safe wayfinding. In conclusion, the 4700 Comprehensive Sign Program Amendment will protect the interests and goals of the Town of Gilbert and Glenwood Commercial Real Estate, while promoting economic vitality for the tenants and businesses within the development.

VICINITY MAP



MARICOPA COUNTY ASSESSOR PARCEL MAP

PARCEL MAP & AERIAL PHOTO



MARICOPA COUNTY ASSESSOR PARCEL MAP & AERIAL (2021)

PERFORMANCE STANDARDS & GENERAL SIGN REQUIREMENTS

These criteria have been developed to ensure design compatibility among all signs at 4700 S. Val Vista Drive located at S Val Vista Drive and Queen Creek Road in Gilbert, Arizona. These criteria exist to maintain a continuity of quality and aesthetics throughout the Shopping Center for the mutual benefit of all tenants, and to comply with the regulations of the local municipal sign and electrical codes. Conformance to these criteria will be strictly enforced. Any sign installed that is non-conforming to these criteria not approved by Landlord must be removed or brought into conformance by the Tenant and/or its sign contractor.

Landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code compliance. Sign permits must be obtained from the Town of Gilbert prior to the installation of any sign.

I. PERFORMANCE STANDARDS

1. The Landlord shall review the detailed signage shop drawings electronically, with the drawings indicating the sign location, size, layout, design color, illumination materials and method of attachment. The Landlord shall then electronically return the drawings back to the Tenant marked as either "Approved", "Approved as Noted", or "Revise and Re-Submit".
2. "Revise and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by Tenant and resubmitted to Landlord for its approval.
3. Upon receipt of Landlord approval, Tenant shall proceed with the Town of Gilbert permit process. No sign shall be installed prior to Town approval.
4. No signs, advertisements, notices, or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Landlord.
5. Tenant and/or its representatives shall obtain all permits for its exterior signs and their installation. Tenant shall be responsible for all requirements, specifications, and costs.
6. Tenant shall have the sole responsibility for compliance with all applicable codes, ordinances, or other regulations for all work performed on the premises by or on behalf of the Tenant.
7. The Landlord's approval of Tenant's plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by Landlord that said items are following applicable codes, ordinances, or other regulations.

II. GENERAL SIGN REQUIREMENTS

1. All signage is subject to Town of Gilbert approval and this comprehensive sign program. Landlord will support all applications for signs in compliance with this sign program but cannot guarantee Town approval.
2. All signage shall be constructed and installed at Tenant's expense.
3. Tenant and the Tenant's contractor shall be responsible for the repair of any damage caused by installation or removal of any sign.
4. Temporary advertising devices such as attraction boards, posters, banners, and flags shall be permitted.
5. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
6. All signs shall be fabricated using full welded construction.
7. All penetrations of the building structure required for sign installation shall be neatly sealed in a water tight condition.
8. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
9. All exposed metals shall be painted to render them inconspicuous.
10. No exposed raceways, crossovers, tubing, or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed.
11. All electrical signs shall bear the UL label.
12. All signs shall conform to International Building Code Standards.
13. All electrical signs shall conform to National Electrical Code Standards.
14. Tenant shall be liable for the operation of their sign contractor. Tenant shall be responsible for selecting a sign company that carries workers' compensation and commercial general liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs with limits of liability satisfying the requirements of the Lease.
15. Flashing, moving, or audible signs will not be permitted.
17. Tenant logo styled letters may be used. With the exception of the Major Tenant, copy content of the signage shall not include the product sold without prior approval of Landlord.

III. WALL SIGNS

1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord. Each tenant or user suite shall be permitted a Wall Sign with a Minimum Sign Area of thirty-two (32) square feet.
2. Wall signs shall consist of individual LED or neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum may be used for smaller letters if necessary. Cabinet signs & Projecting signs may be used provided that they are approved by Landlord and are non-rectangular.
3. All sign materials shall be quality in nature and include Aluminum, Steel, Stainless Steel, Acrylic, and Polycarbonate.
4. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval. In instances where a Tenant has no corporate color or identity, text is to be in a color that contrasts the face of the monument sign panel.
5. The total sign area for tenant occupied buildings up to 75 feet from the right-of-way shall not exceed one (1) square foot for each front foot of building occupancy. The total sign area for tenant occupied buildings 75 feet or more from right-of-way shall not exceed one and a half (1.5) square feet for each front foot of building occupancy.
6. Height and Length. The height of a Wall Sign shall not exceed eighty (80) percent of the vertical dimension of the sign band or wall space on which the sign is placed. The length of a Wall Sign shall not exceed seventy (70) percent of the horizontal length of the exterior building elevation of the tenant suite.
7. Placement. Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.
8. All Tenant Wall Signs must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

IV. STOREFRONT GRAPHICS

1. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. All window graphics and displays shall be subject to the approval of the Landlord prior to fabrication or implementation. Not to exceed 25% of each window area.
2. Corporate Letterstyles, Logotype, Logo, and Colors may be used with Landlord Approval.

3. All Store Front Graphics are to be installed 1st surface to Tenant frontage windows/doors.
4. All window signs shall meet the requirements of the Town of Gilbert.

V. MULTI-TENANT MONUMENT SIGN (SIGN A-1)

1. Three (3) Double-Faced Multi-Tenant Monuments are located within the development.
2. The height of a Monument Sign shall be no greater than twelve (12) feet to the top of design embellishments, and the Sign Face shall be located between two (2) feet and ten (10) feet above grade with design embellishments added to the top, sides, or bottom of the sign. The size of a Monument Sign shall not exceed sixty (60) square feet in area.
3. Monument Signs shall be set back a minimum of three (3) feet from the right of-way. Monument Signs shall maintain a minimum spacing of one hundred (100) feet from any other Monument Sign on the same street frontage.
4. Monument Sign Panels are to be fabricated of routed aluminum backed with acrylic. All panel faces are to be painted to monument cabinet color.
5. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity, text is to be in a color that contrasts the face of the monument sign panel.
6. Tenant copy/logo not to exceed the monument face panel boundary.
7. All Multi-Tenant Monument Sign Tenant Panels must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

VI. SINGLE-USER MONUMENT SIGN (SIGN A-2)

1. A business that completely occupies a single building may opt to utilize a Single-User Monument Sign with Landlord Approval.
2. Two (2) Double-Faced Single-User Monument is located within the development.
3. The height of a Monument Sign shall be no greater than twelve (12) feet to the top of design embellishments, and the Sign Face shall be located between two (2) feet and ten (10) feet above grade with design embellishments added to the top, sides, or bottom of the sign. The size of a Monument Sign shall not exceed sixty (60) square feet in area.

PERFORMANCE STANDARDS & GENERAL SIGN REQUIREMENTS

- 4. Monument Signs shall be set back a minimum of three (3) feet from the right of-way. Monument Signs shall maintain a minimum spacing of one hundred (100) feet from any other Monument Sign on the same street frontage.
- 5. Monument Sign Panels are to be fabricated of routed aluminum backed with acrylic. All panel faces are to be painted to monument cabinet color.
- 6. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity, text is to be in a color that contrasts the face of the monument sign panel.
- 7. Tenant copy/logo not to exceed the monument face panel boundary.
- 8. Manual Changing Message Displays. One-half (1/2) of the area of the face of a Freestanding Monument Sign may be a manual Changing Message Display (an example would be static fuel pricing for a Vehicle Fueling Facility), subject to this sign program and limitations of the Gilbert Sign Ordinance.
- 9. All Major Tenant Monument Signs must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

VII. STREET ADDRESS

- 1. Each location of a business or non-residential use shall be clearly identified by or associated with a street address for first responders to locate the same as necessary to respond to any fire or public safety issue. The sign shall serve as visible street address and identifier for delivery of mail and official governmental notification. The Street Address Sign may be externally or internally illuminated. The Street Address Sign shall not exceed six (6) square feet in Sign Area.

VIII. ELECTRONIC CHANGING MESSAGE DISPLAYS

A business that completely occupies a single building may opt to utilize a Single-User Monument Sign with an electronic changing message display to advertise the business name, the business activities, or fuel prices for a Vehicle Fueling Facility (Gas Station). The electronic changing message display may encompass the entire sign face or a portion of the sign face, subject to the following operational limitations:

- a. Display: An electronic Changing Message Display may be in full color.
- b. Minimum Display Time: An electronic Changing Message Display is permitted to have unlimited motion or be static and change messaging when needed.

- c. Transition Method: An electronic Changing Message Display shall change by an instant change method.
- d. Illumination Levels: An electronic Changing Message Display shall incorporate photocell/light sensors, with automatic dimming technology that appropriately adjusts to ambient light conditions at all times of the day and night. Displays shall have a brightness level of no greater than 0.3-foot candles above ambient light conditions at the property line as measured by foot candle meter.
- e. Maintenance: Any allowed electronic Changing Message Display that malfunctions, fails, or ceases to operate in its usual or normal programmed manner shall be repaired or disconnected within forty-eight (48) hours by the owner or operator of such sign.

IX. TEMPORARY SIGNS

- 1. Temporary signs are intended to be utilized by businesses as a short-term advertisement of special events (e.g., grand opening, going out of business), sales, and new products or services.
- 2. General Standards. Unless otherwise modified by this Section, or as a condition of approval, the following standards apply to all temporary signs:
 - a. No movement allowed (except for movement of flying banner).
 - b. No florescent color or exhibition of florescence allowed.
 - c. Not allowed within a Sight Visibility Triangle.
 - d. Not allowed on Public Sidewalk or right-of-way.
 - e. Temporary signs shall be spaced at least fifteen (15) feet apart.
 - f. Temporary signs are allowed up until three (3) days after conclusion of an event if sign pertained to an event.
 - g. No lighting or illumination is allowed on temporary signage.
- 3. A-Frame or T-Frame Signs. Placement. No more than one third (1/3) of the width of a public sidewalk and must provide at least four (4) feet of sidewalk clearance. The following additional standards apply:
 - a. Shall not exceed 45 inches in height and 31 inches in width and shall be limited to one (1) sign per public street frontage.

- b. Shall be constructed of durable materials with a stable, weighted base.
- c. Shall not be illuminated or animated in any way.
- d. A-frame & T-frame signs shall only be displayed during normal business hours of operation.
- 4. Flying Banners. Placement. Flying Banner Signs must be located adjacent to the parcel or business advertised thereon, Flying Banner Signs shall not be placed in raised or painted medians, with stakes fastened to or driven into concrete, across the street from the business being advertised, on equestrian or multi-use trails, and must be placed at grade level. The following additional standards apply:
 - a. Minimum distance from an access drive or street intersection is 30 feet.
 - b. Minimum Distance from another Flying Banner Sign, A-Frame or T-Frame Sign is 20 feet. Minimum setback of flying banner is four (4) feet from edge of curb, or a distance equal to the height of the Flying Banner Sign, whichever is greater.
 - c. Shall be securely tethered or supported by a base of sufficient weight and durability to withstand wind gusts, and maintained in a professional manner free from fading, tearing, and tattering.
 - d. Maximum Sign Area of each Flying Banner is twelve (12) square feet. Maximum Sign Height allowed is fifteen (15) feet.
- 5. Banners. A business is allowed to display a banner and shall be limited to one (1) banner per business. Banners shall not be located on the roof of the building or above the building roofline and shall comply with the requirements outlined in this sign program and within the Gilbert Sign Ordinance. The following additional standards apply:
 - a. A Banner Permit from the Town of Gilbert is required.
 - b. Duration. Banners shall be up no more than 120 days per year in the aggregate
 - c. Banner Sign Height Maximum if Displayed as a Freestanding Sign is 8 ft.
 - d. Minimum Sign Setback if displayed as a Ground Signs 3 ft. Minimum Sign Setbacks are measured from the edge of the property line. Setbacks do not apply to a Banner Sign displayed on walls.
 - e. Square footage maximums are as listed in table below:

BANNER SIZE LIMITATIONS TABLE

BUILDING SIZE	SIGN AREA
For occupancies up to 5,000 s.f.	40 sq. ft.
For occupancies greater than 5,000 s.f. up to 15,000 s.f.	80 sq. ft.
For occupancies greater than 15,000 s.f. up to 50,000 s.f.	120 sq. ft.
For occupancies greater than 50,000 s.f	180 sq. ft.

SITE PLAN

SITE DATA

PARCEL NUMBERS

304-57-916 (Current Lot 1)
304-57-917 (Current Lot 2)

TOTAL AREA

Lot 1: 152,278 Net Square Feet (3.50 Net Acres)
Future Lot 2A: 332,909 Net Square Feet (7.64 Net Acres)
Future Lot 2B: 79,212 Net Square Feet (1.82 Net Acres)
Total: 564,399 Square Feet (12.96 Acres)

TOWN OF GILBERT ZONING

SC
Shopping Center District

BUILDING AREAS

Self Storage: 72,180 SF
Major A: 22,500 SF
Pad A: 4,872 SF
Pad B: 6,000 SF
Pad C: 8,000 SF
Pad D: 2,800 SF

TOTAL AREA: 116,352 SF

NOTES:

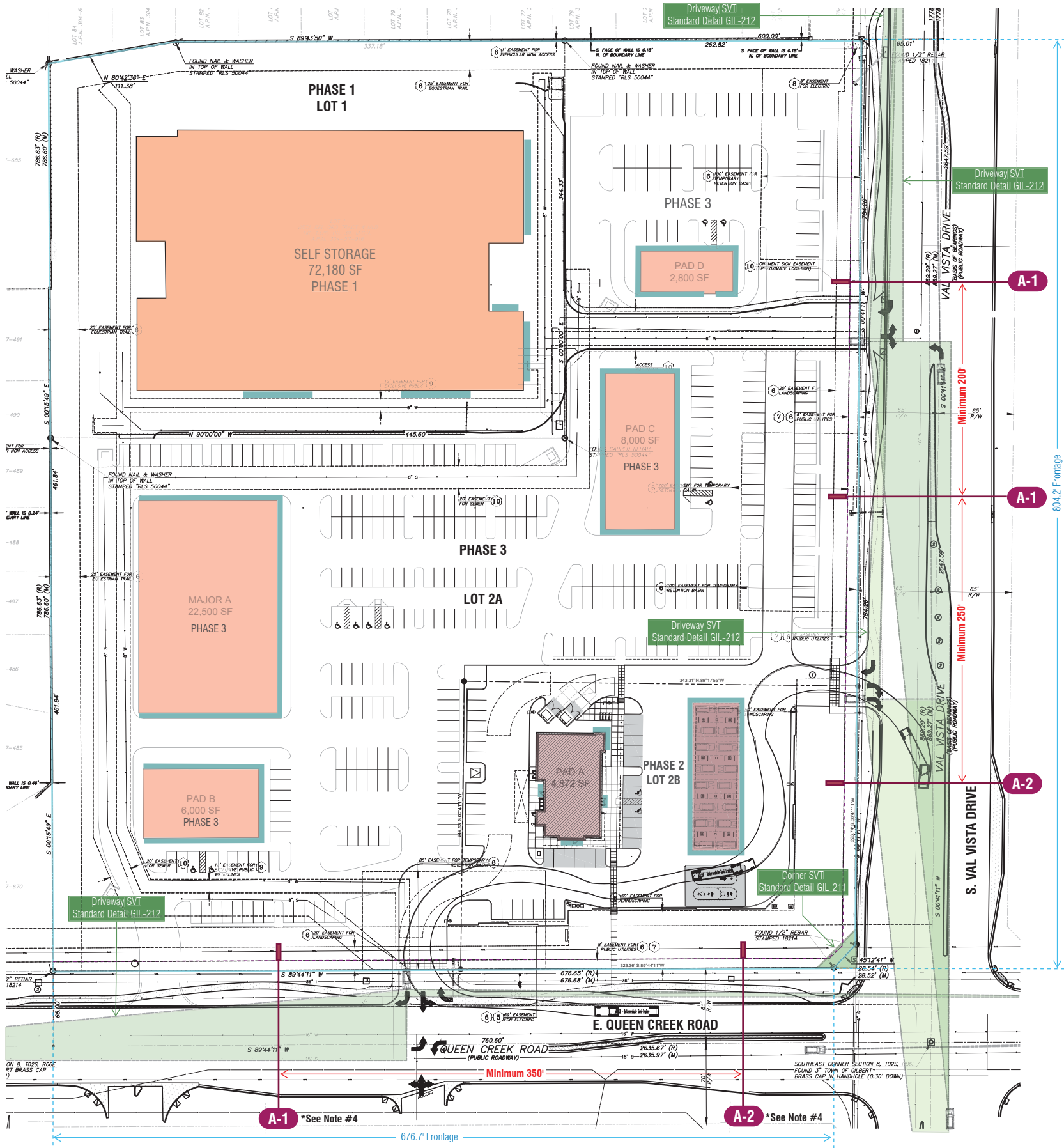
- (1) The site layout and building areas for Phase 3 is subject to change due to future real estate market demands. This Comprehensive Sign Program shall be amended as-needed to accommodate any modifications to the building sign and freestanding sign allowances that cannot be addressed with this current Comprehensive Sign Program.
- (2) Proposed Minor Land Division currently under review with the Town of Gilbert will divide Lot 2 into two (2) lots: Lot 2A and Lot 2B, with Lot 2B the location of the new convenience store & gas station user.
- (3) The final exact locations of Sign A-1 and Sign A-2 along the Queen Creek Road frontage is subject to review and consideration by Salt River Project and/or the Salt River Project Land Department during or before the sign permit application review process with the Town of Gilbert.

APPROVED

Administrative Design Review

Case # DR17-1099-S-A (DR21-57)

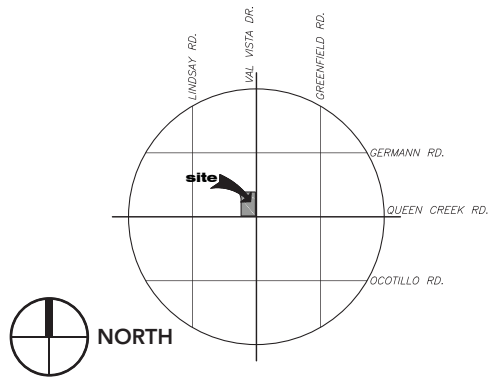
Date 10/14/2021



KEY

- A-1 MULTI-TENANT MONUMENT SIGN
- A-2 SINGLE-USER MONUMENT SIGN
- BUILDING SIGN LOCATIONS
- Property Line
- 8' Public Utility Easement (PUE)
- Sight Visibility Triangle

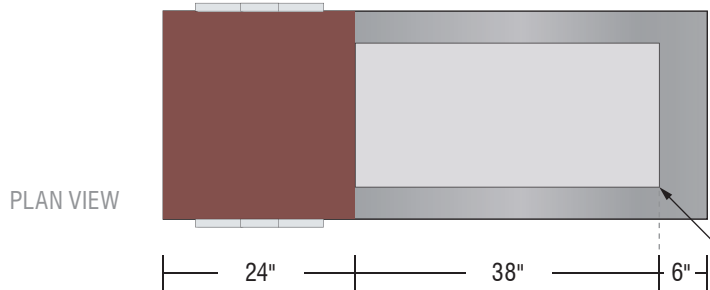
VICINITY MAP



VAL VISTA
COMPREHENSIVE SIGN PROGRAM AMENDMENT

A-1 MULTI-TENANT MONUMENT SIGNS

ELEVATIONS & DETAILS



SIGN AREA PER SIDE: 59.9 SF (60 SF MAX)
SIGN CAN ACCOMMODATE 6-12 TENANTS

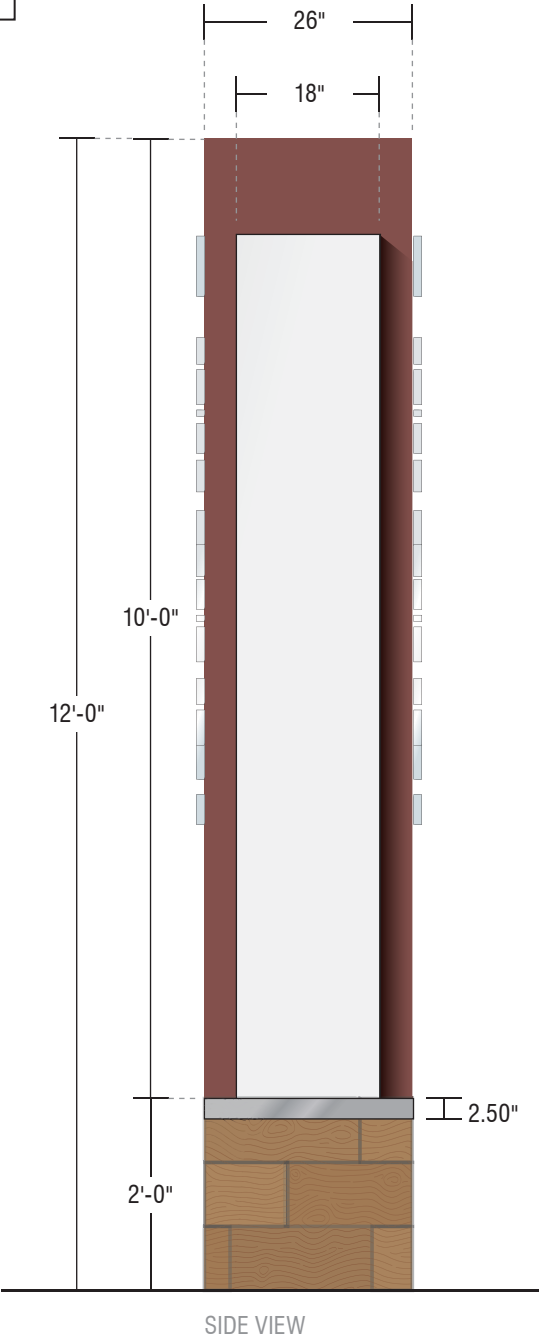
PROJECT CABINET
Aluminum Angle Frame
Routed to Receive Push-Thrus
Painted to Match with Montex Texture
Building Cranberry (MP TBD ■)

ILLUMINATED PUSH-THRU LETTERS
ACRYLIC
1" Clear Acrylic
Perforated Vinyl Applied 1st Surface
Black Perforated Film (3M 3635-200)
Painted to Match
Building Gray (MP TBD ■)
2nd Surface Diffuser
ILLUMINATION
White LED
GE TetraMAX 7100K
INSTALLATION
Mount Flush through
Routed Faces of Project Cabinet
with Required Hardware

TENANT CABINET
1/8" Aluminum Skin w/ Aluminum Angle Framing
All Sides Painted; Satin Finish
MP to Match
Building Gray (MP TBD ■)

ILLUMINATED REPLACEABLE TENANT PANELS
1/8" Aluminum Face Flush to Cabinet
Painted; Satin Finish
MP to Match
Building Gray (MP TBD ■)
TENANT LOGO
Routed From Panel Face
BACKER
3/16" White Acrylic
Vinyl Graphics Applied 1st Surface
Colors Vary per Tenant
ILLUMINATION
White LED
GE TetraMAX 7100K
INSTALLATION
Placed on to Tenant Cabinet
with Required Hardware

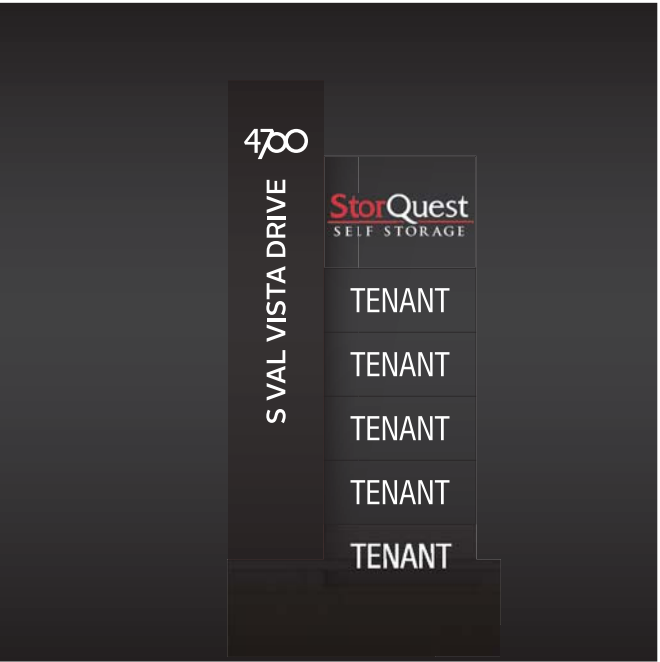
WOOD BASE
Aluminum Angle Framing
Wood Veneer Cladding
to Match Building (TBD ■)
ACCENT CAP
Aluminum Construction
All Sides Painted; Satin Finish
Brushed Aluminum (MP ■)



DRAWING PREPARED BY:
TRADEMARK



B Side A
SCALE 1/4" = 1'0"



C Simulated Night View
SCALE 1/4" = 1'0"

A Project Detail (Side B)
SCALE 1/2" = 1'0"

APPROVED
Administrative Design Review
Case # DR17-1099-S-A (DR21-57)
Date 10/14/2021

SINGLE-USER MONUMENT SIGNS

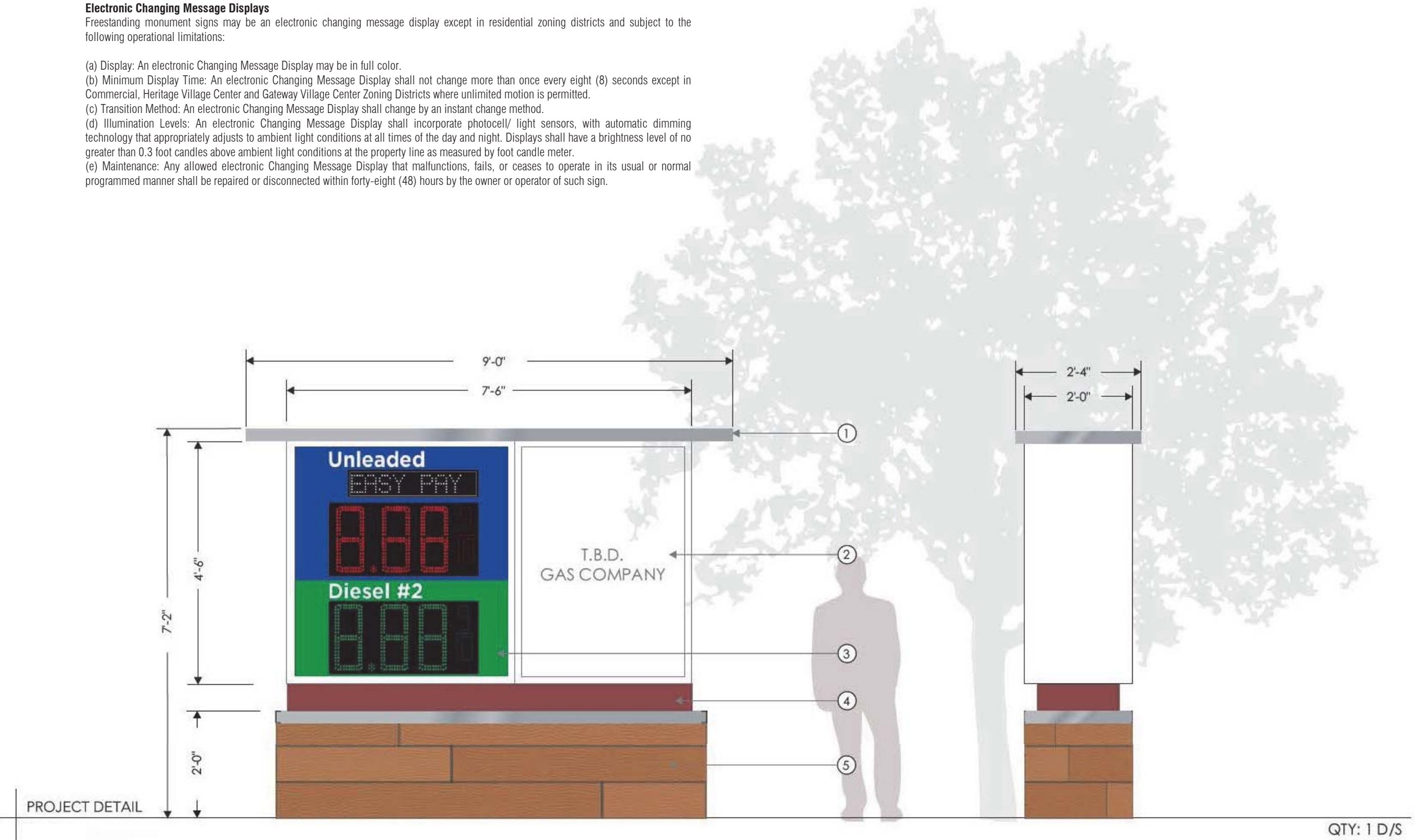
ELEVATIONS & DETAILS

NOTE: This conceptual rendering of a Single-User Monument Sign for a gas station user is to allow for design review and approval with the Town of Gilbert under this Comprehensive Sign Program. This Single-User Monument Sign also incorporates an Electronic Changing Message Display option. The final specifications, construction method and exact location will be determined during the sign permit application review process with the Town of Gilbert.

Electronic Changing Message Displays

Freestanding monument signs may be an electronic changing message display except in residential zoning districts and subject to the following operational limitations:

- (a) Display: An electronic Changing Message Display may be in full color.
- (b) Minimum Display Time: An electronic Changing Message Display shall not change more than once every eight (8) seconds except in Commercial, Heritage Village Center and Gateway Village Center Zoning Districts where unlimited motion is permitted.
- (c) Transition Method: An electronic Changing Message Display shall change by an instant change method.
- (d) Illumination Levels: An electronic Changing Message Display shall incorporate photocell/ light sensors, with automatic dimming technology that appropriately adjusts to ambient light conditions at all times of the day and night. Displays shall have a brightness level of no greater than 0.3 foot candles above ambient light conditions at the property line as measured by foot candle meter.
- (e) Maintenance: Any allowed electronic Changing Message Display that malfunctions, fails, or ceases to operate in its usual or normal programmed manner shall be repaired or disconnected within forty-eight (48) hours by the owner or operator of such sign.



COLOR SCHEDULE:

- MP 03181 CRAFT BROWN
- RODIN PATINA MET. MP 19962
- WOOD BASE
- MP WHITE

SPECIFICATIONS:

MANUFACTURE & INSTALL (2)
NEW D/S MULTI-TENANT MONUMENT SIGNS

- 1 BRUSHED ALUMINUM ACCENT BAR
- 2 CABINET TENANT LOGO ROUTED FROM PANEL FACE. BACKER TO BE 3/16" WHITE ACRYLIC VINYL GRAPHICS APPLIED 1ST SURFACE. WHITE LED GE TETRAMAX 7100K.
- 3 EMC MESSAGE BOARD
- 4 ALUMINUM ANGLE FRAME TO MATCH MONTEX TEXTURE BUILDING CRANBERRY
- 5 WOOD BASE TO BE ALUMINUM ANGLE FRAMING WOULD VENEER CLADDING TO MATCH BUILDING (TBD) ACCENT CAP TO BE ALUMINUM CONSTRUCTION ALL SIDES PAINTED; SATIN FINISH BRUSHED ALUMINUM MATTHEWS PAINT.

DRAWING PREPARED BY:



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Administrative Design Review
Case # DR17-1099-S-A (DR21-57)
Date 10/14/2021

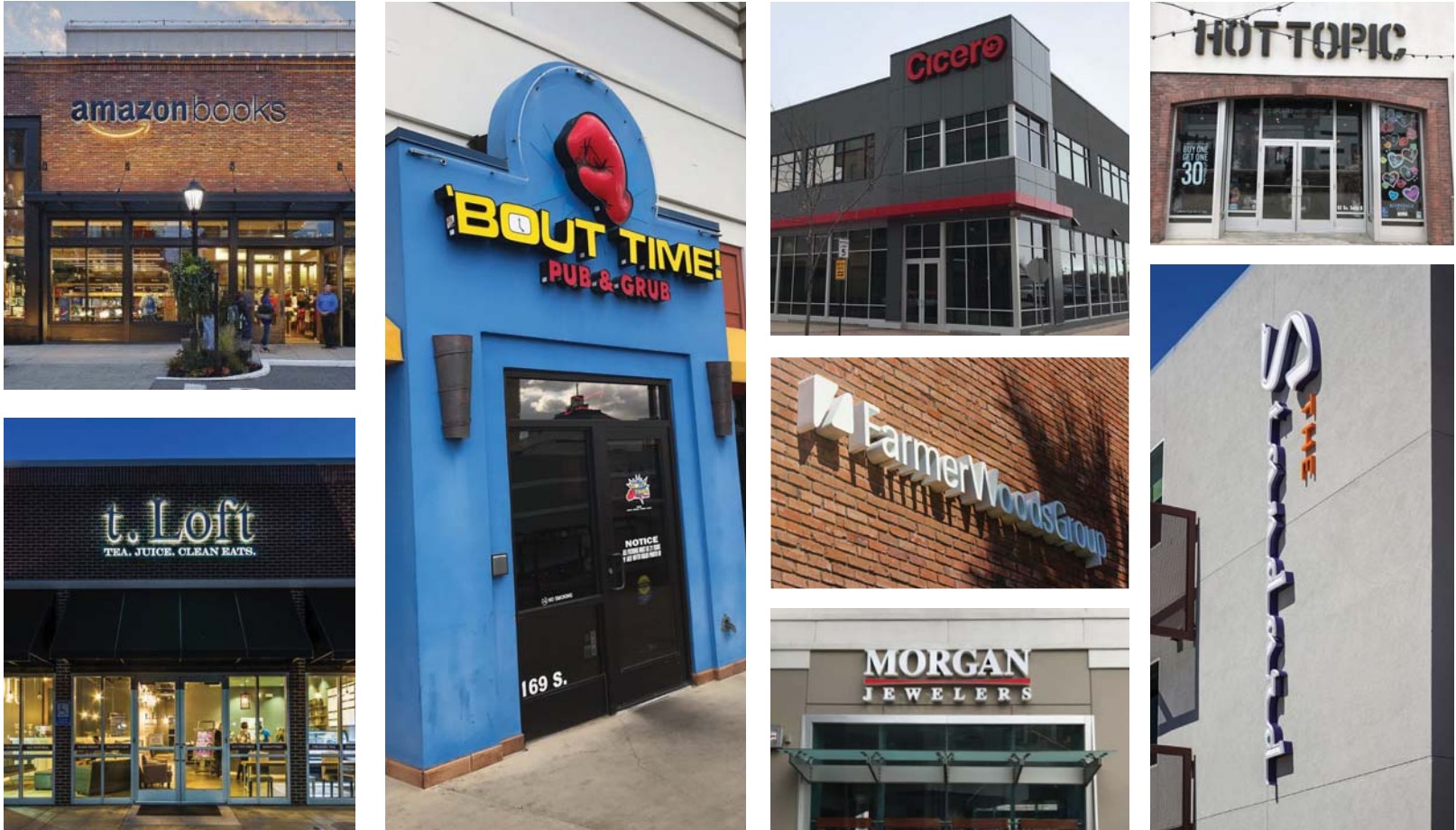
TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

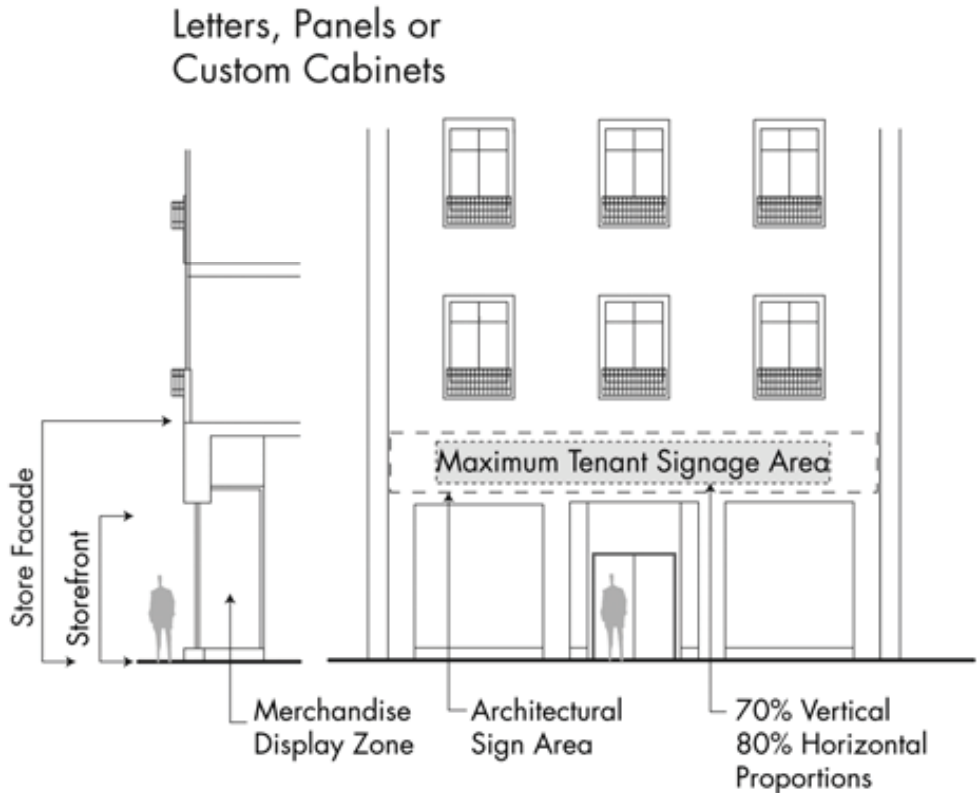
WALL MOUNTED SIGNS

A wall mounted sign is any sign mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. This does not include window signs. All signs shall fit appropriately into architectural sign areas as depicted below – Wall Signs with a maximum proportion of seventy (70) percent of the vertical height and eighty (80) percent of the horizontal length. Margins left by the sign should be in balance around the sign. Color breaks, control joints, high variation in surface texture or other obvious architectural delineation of spaces shall define the architectural sign area. Architecturally integrated signs may use a face material or cabinet which fills the entire sign area as background material. See Next Page for Cabinet Details.

Each tenant or user suite shall be limited to Wall Sign with a Sign Area no greater than the total Sign Allowance Area defined below for (a) the longest building elevation of the tenant or user suite facing the street, or (b) the length of the building elevation of the tenant or user suite where its principal entrance is located. and that sign allowance area under this subsection shall mean “for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each (1) one lineal foot of the building elevation adjacent to the suite. and for ”buildings set back more than 75 feet, one and one half (1-1/2) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite.”



WALL MOUNTED SIGNS PHOTOGRAPHIC EXAMPLES



TENANT WALL MOUNTED SIGN PLACEMENT EXAMPLE

APPROVED

Administrative Design Review
Case # DR17-1099-S-A (DR21-57)
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TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

CABINET SIGNS

A cabinet sign is a sign that contains all the text and/or logo symbols within a single enclosed case. Cabinet signs that are wall mounted must comply with the wall mounted sign requirements of this section (See previous page ‘Wall Mounted Signs’).

Cabinet signs shall be stylized in shape, rather than rectangular, to reflect the shape of the image printed on the Sign Face or the molded Sign Face, with embossed copy, Flat Cut-Out copy, Channel Letter copy, or sign copy in relief. Copy may be a seperate Letterset of Flat Cut-Out or Channel Letters not affixed to Cabinet as well.



CABINET SIGNS PHOTOGRAPHIC EXAMPLES

MURALS

A mural is painting or pictorial representation applied to or incorporated into a structure or wall, which can be viewed from public places, service lanes and ROW.



MURAL SIGNS PHOTOGRAPHIC EXAMPLES

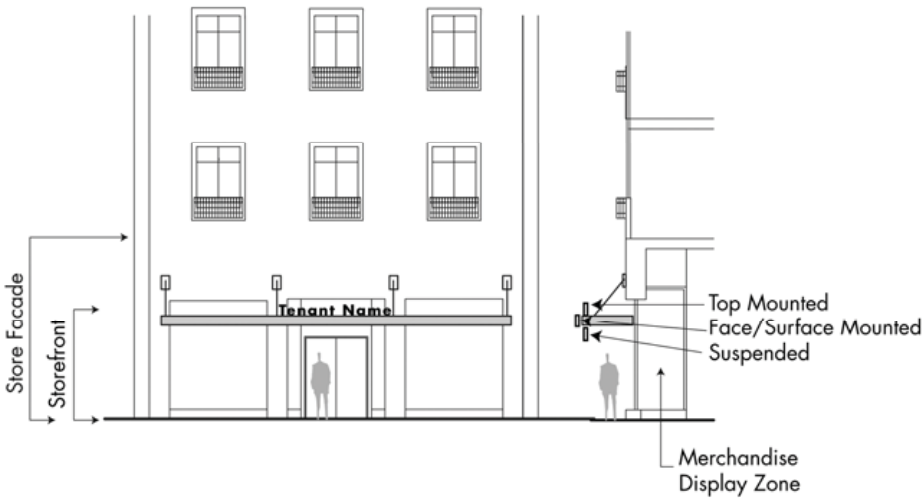
TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

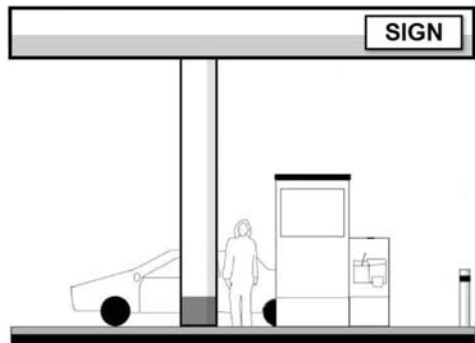
BUILDING CANOPY SIGNS & FUEL CANOPY SIGNS

Building Canopy Sign
A Building Canopy Sign is a sign placed on, affixed to, or incorporated into the surface of a canopy (typically rigid structures, or structures with vertical supports) or similar device. Signage may be mounted over, suspended under or face-mounted to the front edge or sides of a canopy. The canopy and associated signage must be at least eight (8) feet above any walkway surfaces. Canopies over four (4) feet deep may be required to provide indirect illumination of the walkway below, this shall not be considered signage illumination. No Raceway can be visible from front view of the sign. Refer to the illustrations below.

Fuel Canopy Sign
A Fuel Canopy Sign (Canopy Signs for Service Islands) is a sign placed on, affixed to, or incorporated into the surface of a fuel canopy structure for a service/gas station. Each service island may have up to two (2) Fuel Canopy Signs per service island. The Sign Area of a Fuel Canopy Sign shall not exceed twelve (12) square feet. No part of the sign shall project from a canopy wall by more than six (6) inches. A Fuel Canopy Sign shall be vertically centered on the face of the canopy and the height shall not exceed eighty (80) percent of the vertical dimension of the canopy wall on which the sign is placed. The Sign Area of a Fuel Canopy Sign shall not count against the Maximum Sign Area allowed for Wall Signs on the parcel. No Raceway can be visible from front view of the sign. Refer to the illustration below.



BUILDING CANOPY SIGN PLACEMENT EXAMPLES



FUEL CANOPY SIGN PLACEMENT EXAMPLE

CANOPY SIGNS PHOTOGRAPHIC EXAMPLES



FUEL CANOPY SIGNS PHOTOGRAPHIC EXAMPLES

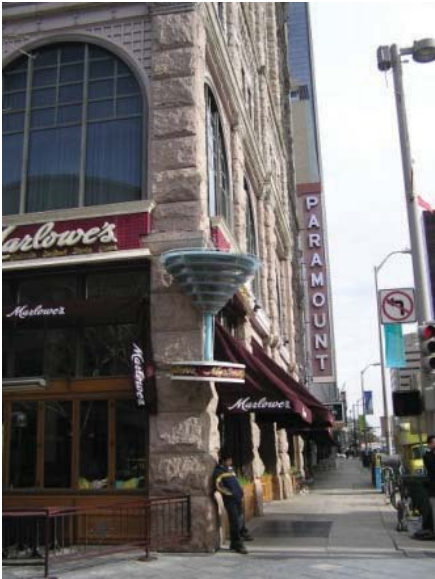


TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

BLADE / PROJECTING SIGNS

A blade or projecting sign shall be a sign attached to a building or other structure and extending in whole or in part more than fifteen (15) inches beyond the building. The blade or projecting sign must be at least eight (8) feet above any walkway surfaces. Maximum projection from the building shall not exceed four (4) feet. Mounting brackets must be decorative elements, compatible with the architecture of the base building.

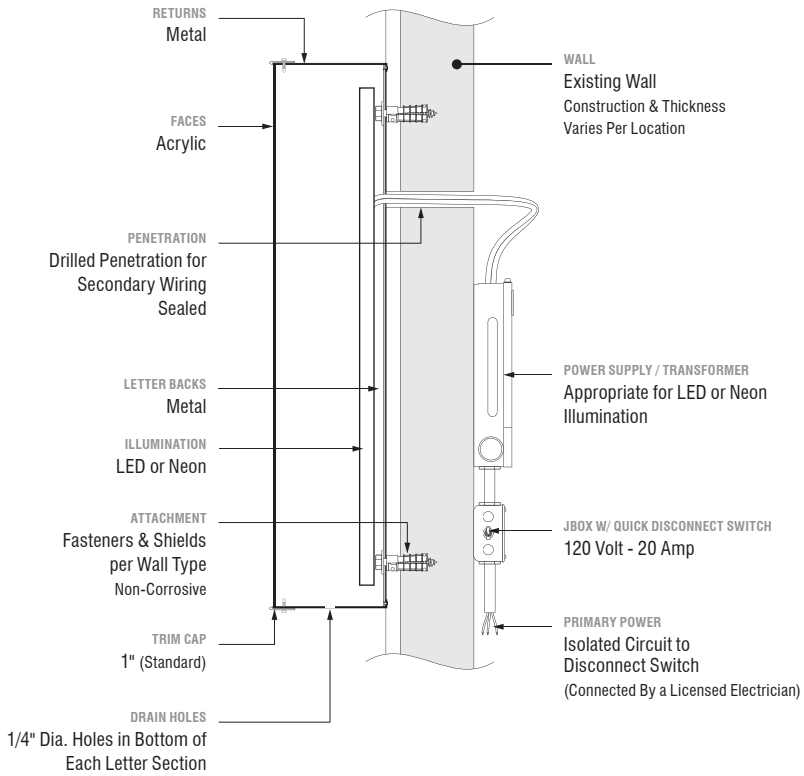


BLADE / PROJECTING SIGNS PHOTOGRAPHIC EXAMPLES

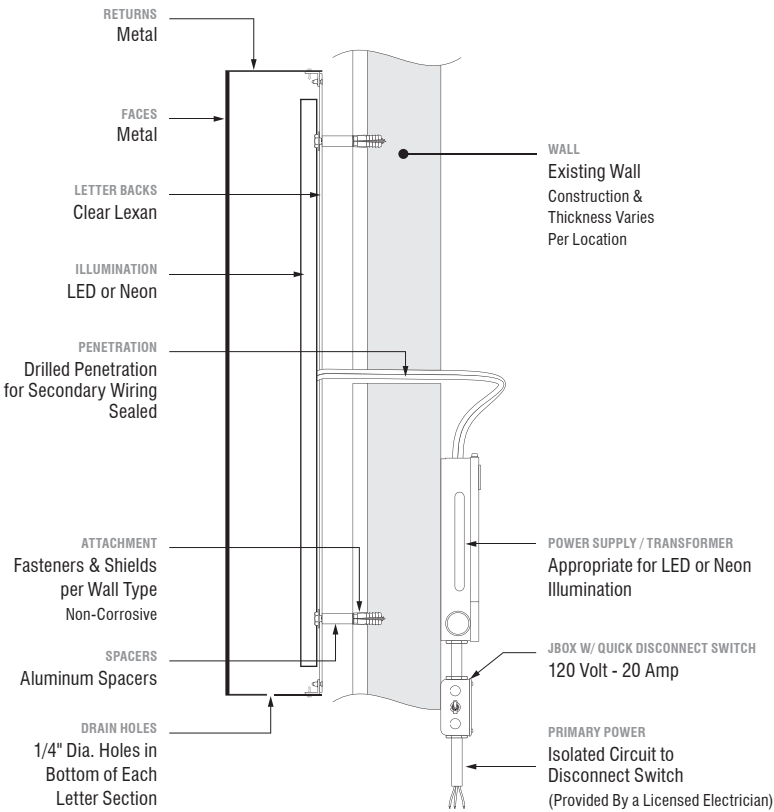
TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

SAMPLE SECTION DETAILS - RECOMMENDED SIGNAGE



Pan Channel Letter Internally Illuminated

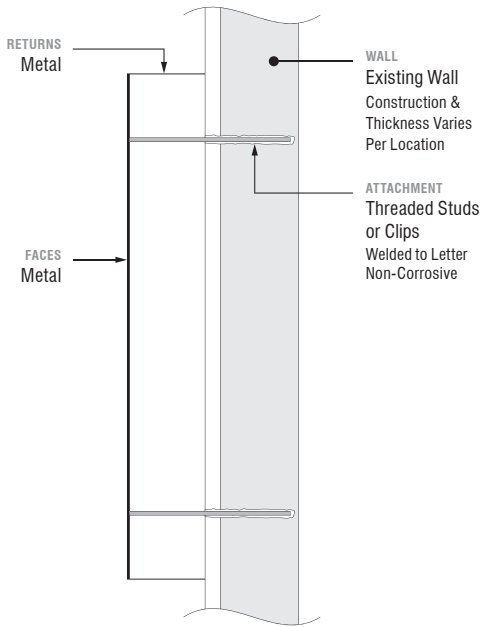


Reverse Pan Channel Letter Halo-Illuminated

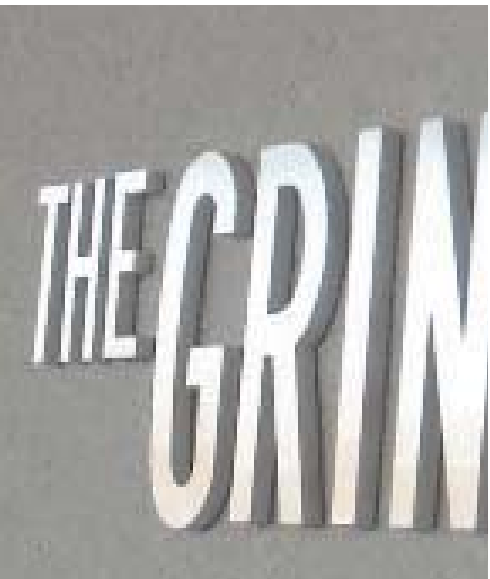
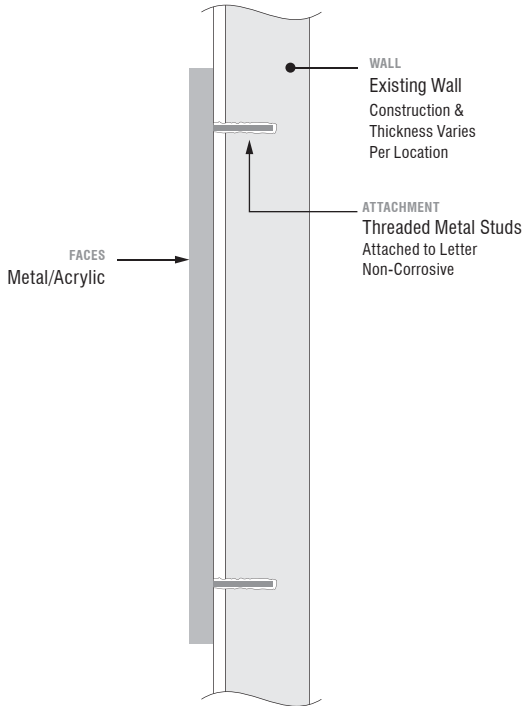
NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Awnings.

A Section Detail - Typical
Pan Channel Letter / LED Internally Illuminated / Flush Mounted

B Section Detail - Typical
Reverse Pan Channel Letter / LED Halo-Illuminated / Mounted Off Wall



Reverse Pan Channel Letter Non-Illuminated



Flat Cut Out Letter Non-Illuminated

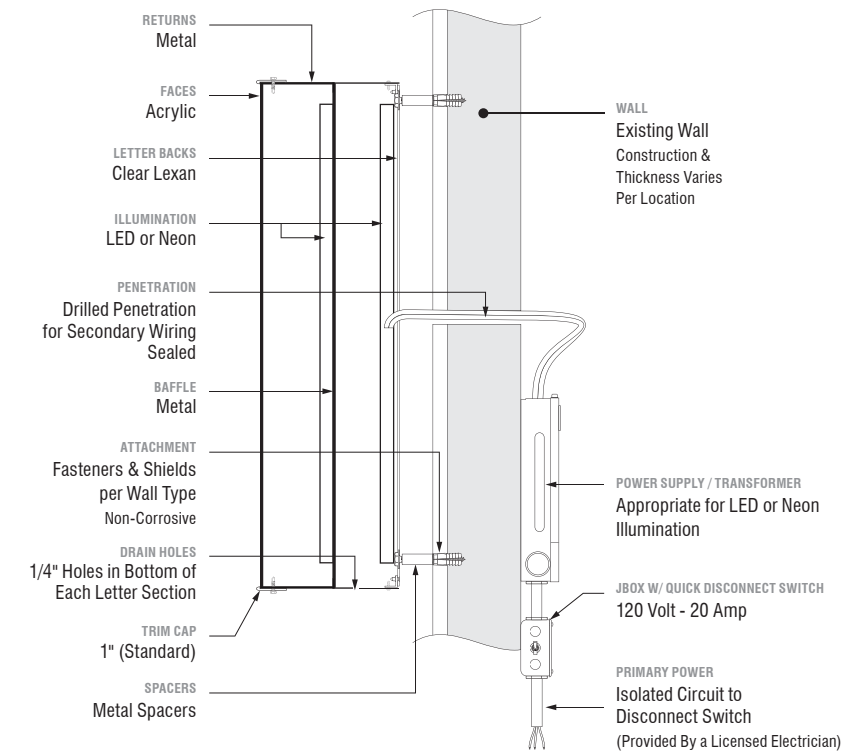
C Section Detail - Typical
Reverse Pan Channel Letter / Non-Illuminated / Flush Mounted

D Section Detail - Typical
Flat Cut Out Letter / Non-Illuminated / Flush Mounted

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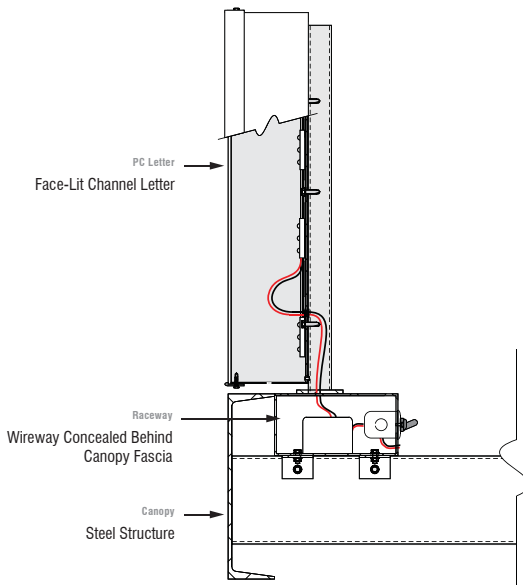
TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building



Channel Letter
Face and Halo Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Awnings.

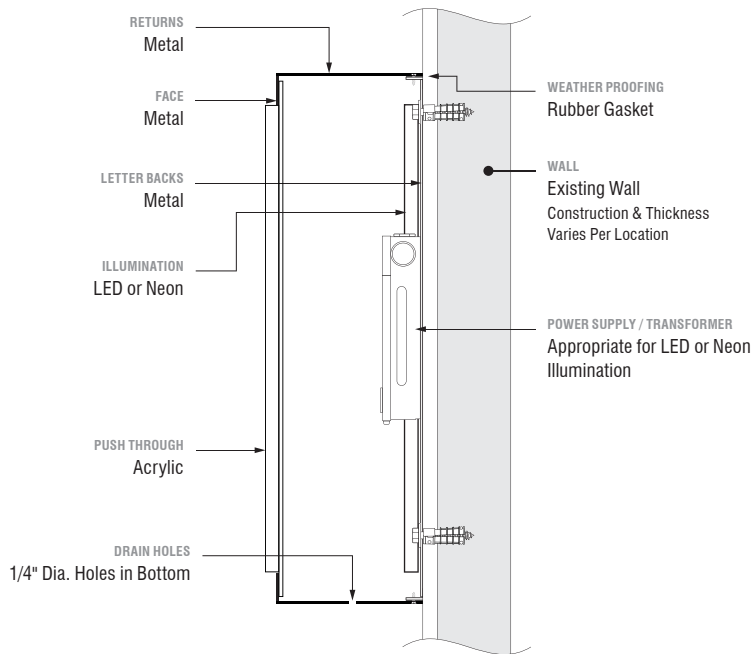


Channel Letter Mounted on Canopy
Face OR Halo Illuminated
with Hidden Raceway

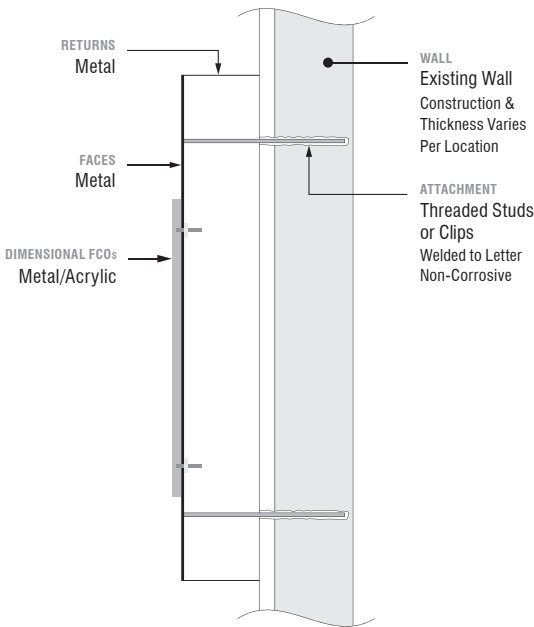
NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Canopy.

E Section Detail - Typical
Channel Letter / Face and Halo Illuminated

F Section Detail - Typical
Canopy Sign / LED Internally & Face Illuminated / Concealed Wireway



Cabinet w/ Push Through Acrylic Face
Internally Illuminated



Reverse Pan Channel Cabinet
with Dimensional Lettering
Non-Illuminated

G Section Detail - Typical
Cabinet / Internally Illuminated / Push-Thru Acrylic Face

H Section Detail - Typical
Reverse Pan Channel Letter / Non-Illuminated / Flush Mounted

MISCELLANEOUS TENANT ID SIGNS

TEMPORARY RETAIL / PORTABLE SIGNS

A temporary retail or portable sign is any sign or advertising device not secured in place, such as an A-frame or spring-loaded sign. A temporary retail or portable sign is a sign either portable or stationary used to display information relating to a land use or event of limited duration which is intended to be removed upon termination of said land use or event. Temporary retail and portable signs shall not count against the maximum sign area, height or quantity allowed. One (1) temporary retail or portable sign shall be permitted for and at each entry point. The maximum sign area for temporary retail or portable sign shall be eight (8) square feet. Maximum sign height shall not be regulated, but the signs taller than three and a half (3.5) feet must be designed so they do not endanger pedestrians or vehicles by falling over. Temporary retail or portable signs must be decorative elements, compatible with the architecture of the base building, the tenants storefront, or the setting the will be placed in. Temporary retail or portable signs are not permitted to block building entrances or sidewalk clear routes. Permits for temporary retail or portable sign must include the locations where they may be set up. Temporary retail or portable signs are not allowed along arterial streets unless they are part of an Individual Comprehensive Sign Plan.



TEMPORARY RETAIL / PORTABLE SIGNS PHOTOGRAPHIC EXAMPLES

MISCELLANEOUS TENANT ID SIGNS

MENU SIGN / BOARD / CABINET

A menu sign is a sign used to inform the public of the list of entrees, dishes, foods and entertainment available. A menu board is permanently mounted external sign displaying the bill of fare. A menu cabinet is a permanently mounted cabinet with front of glass or other glazing in which a menu sign may be displayed and changed often. Menu signs, boards or cabinets shall be mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. Menu signs, boards and cabinets are by their nature pedestrian oriented and shall not count against the maximum sign area, height or quantity allowed. One (1) Menu sign, board or cabinet shall be permitted for and at each entry point. The maximum sign area for a menu sign, board or cabinet shall be six (6) square feet. Menu signs, boards or cabinets must be decorative elements, compatible with the architecture of the base building the plaques are attached to.



MENU SIGN / BOARD / CABINET PHOTOGRAPHIC EXAMPLES

INCIDENTAL SIGNAGE

Incidental signage shall not be limited by the City Code. Text and logos shall be no more than two (2) inches in height. Incidental signage may include the following information that is typically provided for commercial establishments:

- a. The name of the establishment
- b. Hours of operation
- c. Suite numbers
- d. Modifiers of the products sold
- e. Logos and other graphic elements
- f. Credit cards accepted decal
- g. Chamber of commerce membership decal
- h. Open/Closed sign less than one-half (1/2) square foot, not permanently attached to the Storefront glazing
- i. No smoking decals less than one-half (1/2) square foot
- j. Other decals required by Law



INCIDENTAL SIGNAGE PHOTOGRAPHIC EXAMPLES

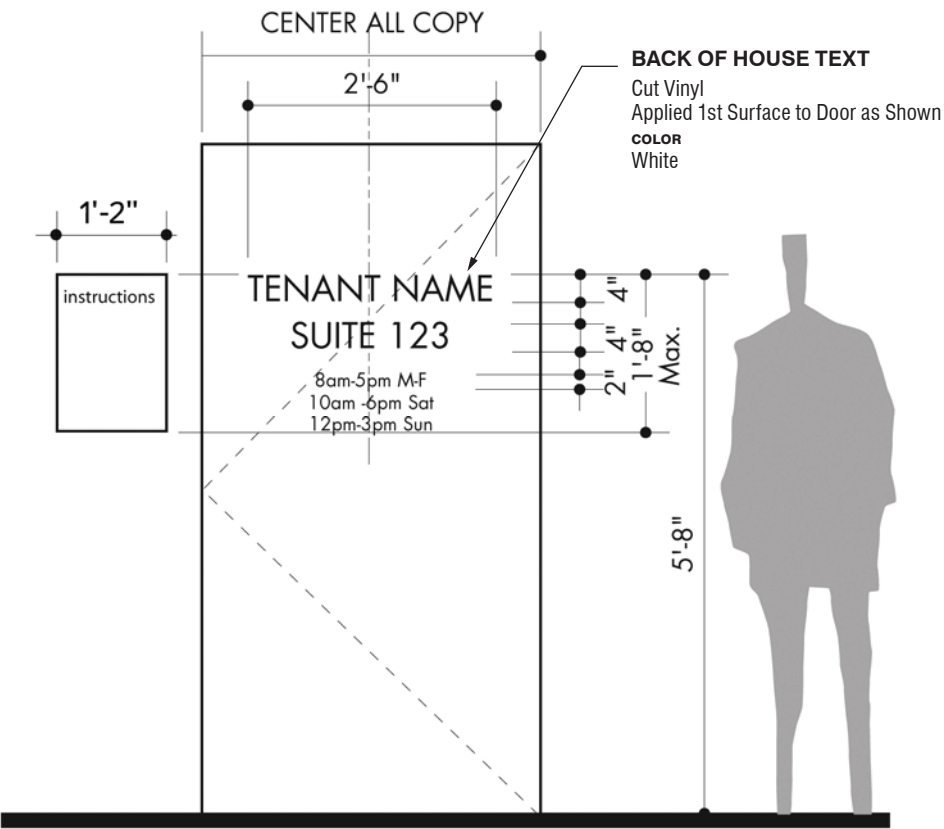
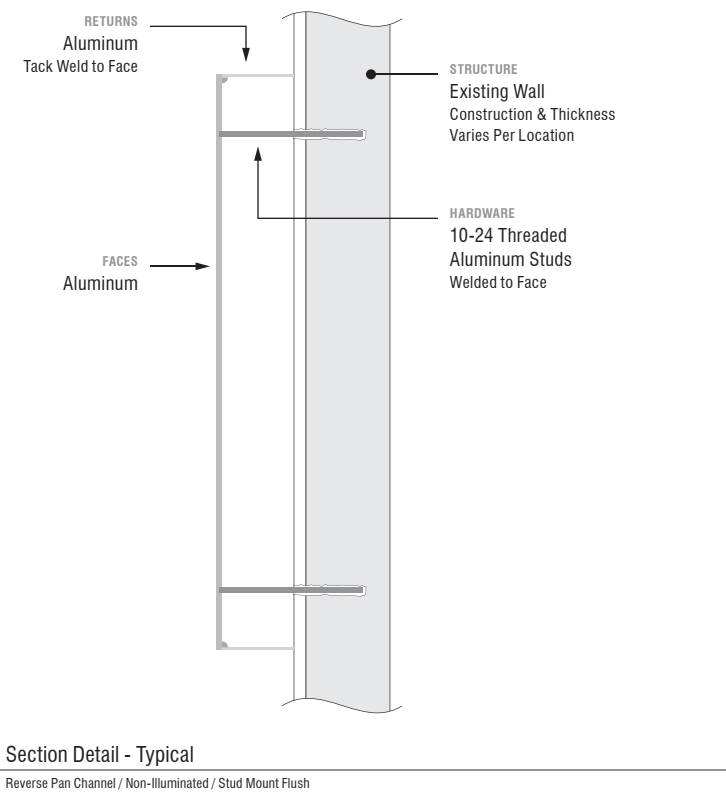
MISCELLANEOUS TENANT ID SIGNS

ADDRESS

Address signs including street, building and suite numbers which do not exceed six (6) square feet are not regulated by the City Code.

BACK OF HOUSE SIGNS

Shop Tenants: Back of house signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown at right, without counting against the maximum sign area.



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MISCELLANEOUS TENANT ID SIGNS

DIRECTIONAL SIGNS

A directional sign shall be a sign which includes copy offering pertinent directional information for the purpose of assisting in the flow of vehicular or pedestrian traffic. Directional signs are not advertising nor commercially oriented and shall not count against the maximum sign area allowed. The maximum sign area for directional signs shall be six (6) square feet unless approved by the City Zoning Administrator or through an Individual Comprehensive Sign Plan. Plaques must be decorative elements, compatible with the architecture or the site they are a part of.



DIRECTIONAL SIGNS PHOTOGRAPHIC EXAMPLES

WINDOW SIGNS

Window signs or applied graphics shall be any sign placed on, affixed to, painted on, sandblasted on, or located within the casement or sill area of a mineral glass window or other glazing. Dimensional letters attached to the glazing must have matching dimensional letters on each side of the glazing or a consistent and permanent opaque finish. Window sign area shall not exceed 25% of each window area.



WINDOW SIGNS PHOTOGRAPHIC EXAMPLES

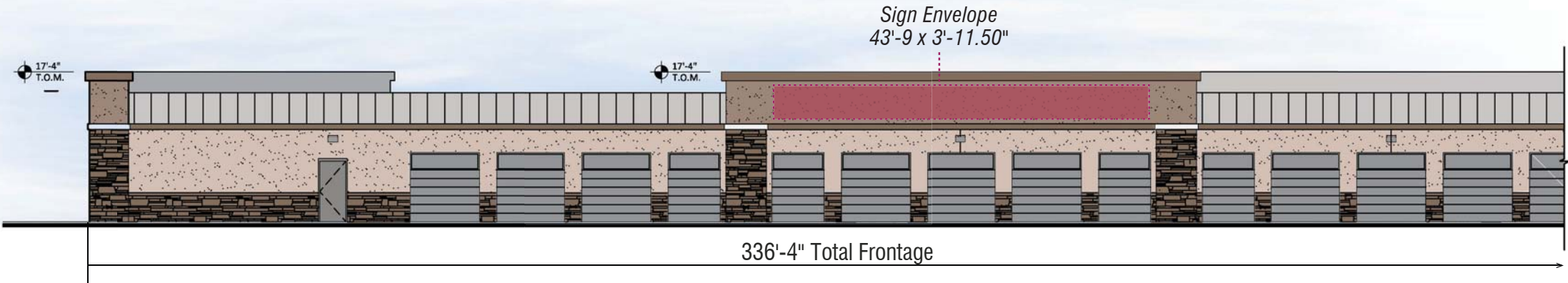
APPROVED
Administrative Design Review
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Date 10/14/2021

SIGN BAND ELEVATIONS - SELF STORAGE FACILITY

Building Elevations With Proposed Sign Envelopes

Sign Envelope

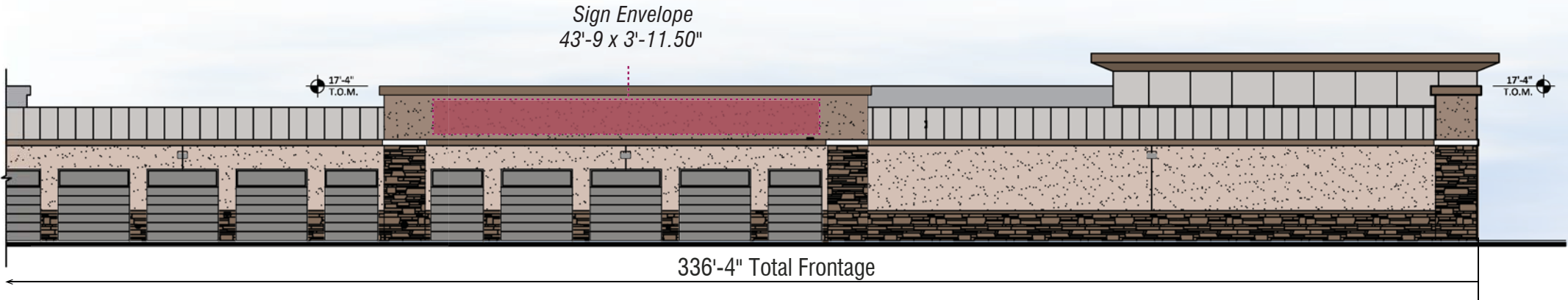
NOTE: Sign Envelopes shown on these elevations are allowed locations where a Building Sign can be displayed, subject to the maximum height and length of the designated envelope in-which a sign can fit within. Multiple lines of copy are permitted.



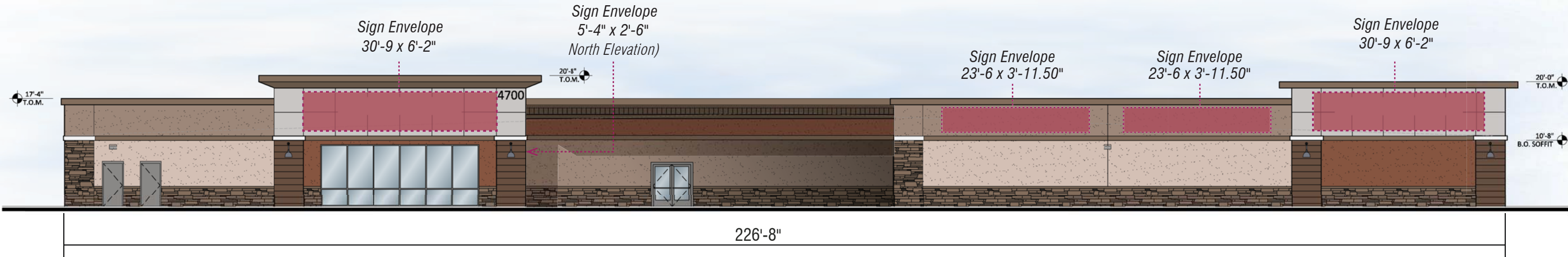
A South Elevation - SW Side
SCALE 1/16" = 1'0"

Sign Allowance Area. Sign Allowance Area under this subsection shall mean "for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each one (1) lineal foot of the building elevation adjacent to the suite," and "for buildings set back more than seventy-five (75) feet from the right-of-way, one and one-half (1.5) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite."

504.5 sf of Signage Allowed
Total for Entire Building



B South Elevation Continued- SE Side
SCALE 1/8" = 1'0"



C East Elevation
SCALE 3/16" = 1'0"

APPROVED

Administrative Design Review

Case # DR17-1099-S-A (DR21-57)

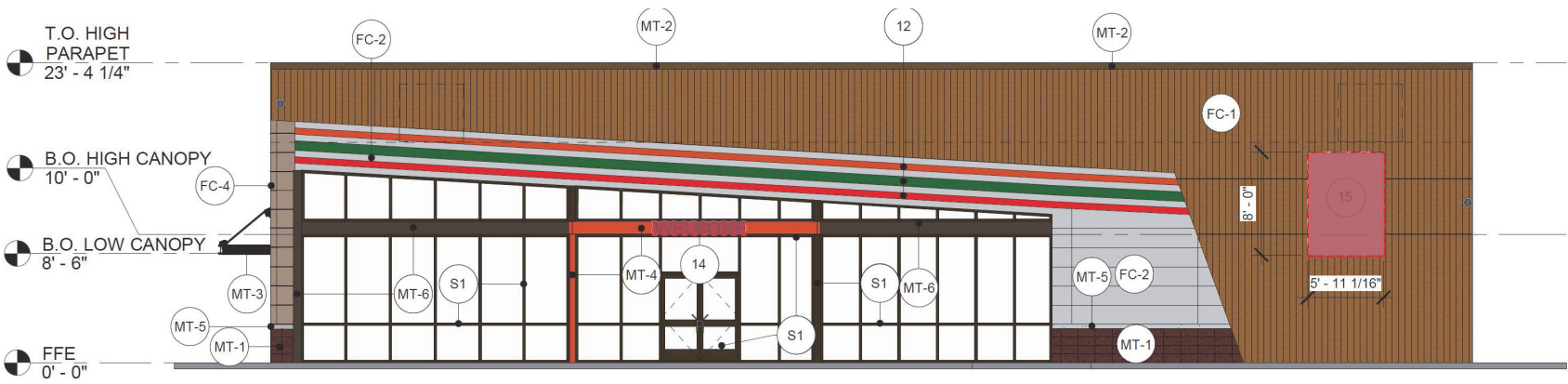
Date 10/14/2021



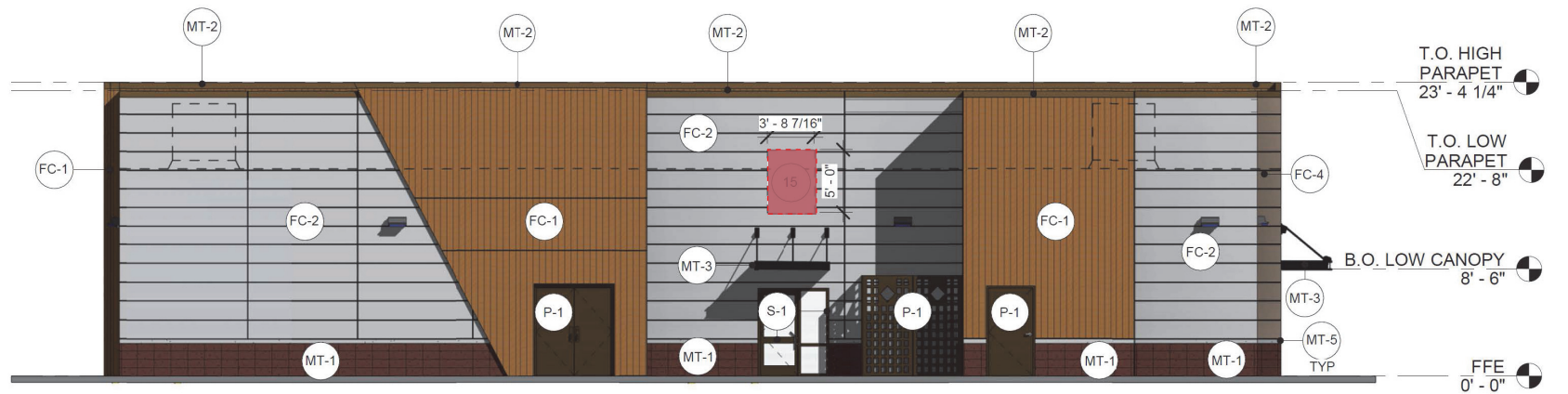
VAL VISTA
COMPREHENSIVE SIGN PROGRAM AMENDMENT

SIGN BAND ELEVATIONS - PAD A CONVENIENCE STORE BUILDING

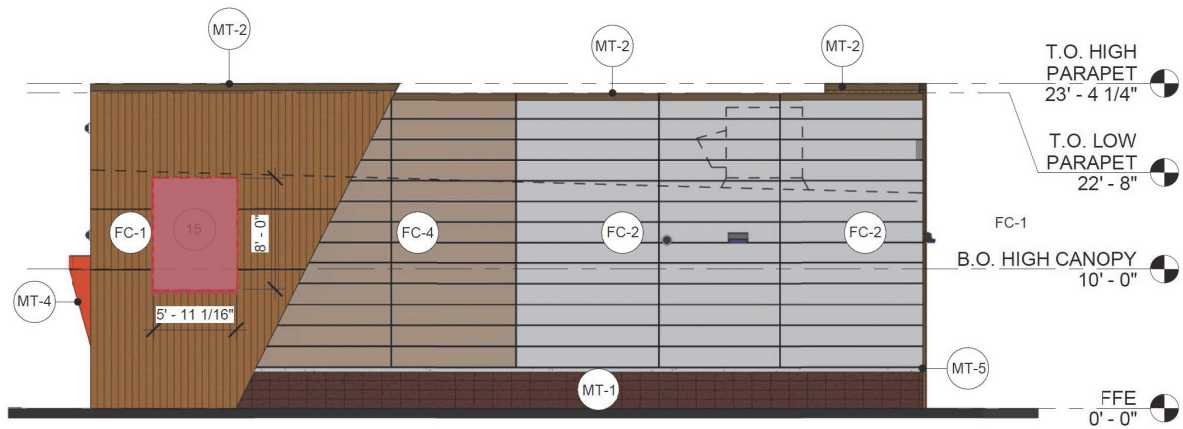
Building Elevations With Proposed Sign Envelopes



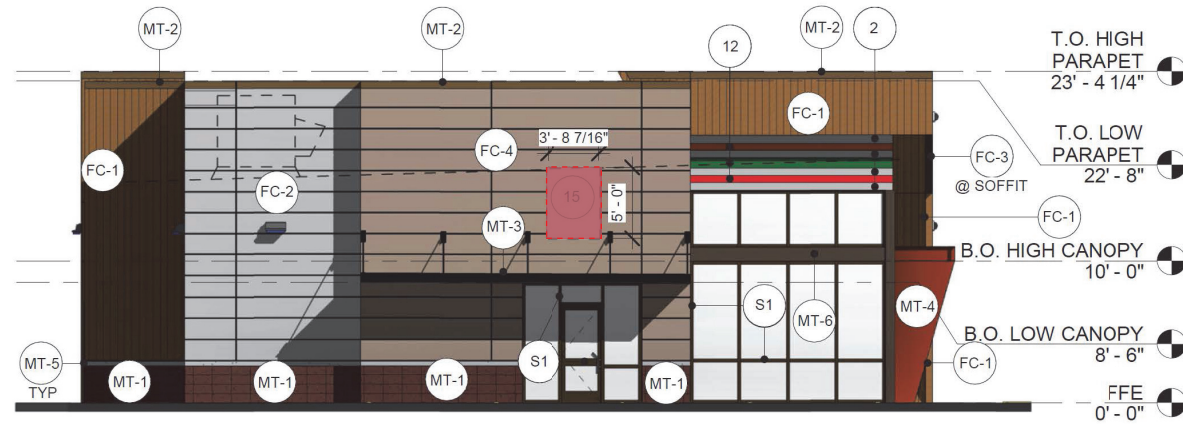
1 EAST
*NOTE: The architectural striping shown on this elevation is not approved under this Comprehensive Sign Program and is addressed on a separate application (see Case# DR21-40).



3 WEST



4 NORTH



2 SOUTH
*NOTE: The architectural striping shown on this elevation is not approved under this Comprehensive Sign Program and is addressed in a separate application (see Case# DR21-40).

ELEVATIONS
PREPARED BY:
Archicon



KEYED NOTES

- FC-1 CEDAR COLORED FIBER CEMENT PANELS
- FC-2 GREY COLORED FIBER CEMENT PANELS
- FC-3 MEDIUM BRONZE COLORED FIBER CEMENT PANELS
- FC-4 DUNN EDWARDS COBBLE STONE PATH COLORED FIBER CEMENT PANELS
- MT-1 STACKED 8X16 CMU BLOCK. PAINTED DUNN EDWARDS BRIAR
- MT-2 PRE-FINISHED MTL COPING AND COMPRESSION EDGE. PAINTED MEDIUM BRONZE
- MT-3 PRE-FINISHED ALUMINUM CANOPY. PAINTED BLACK
- MT-4 PRE-FINISHED ALUMINUM CANOPY. PAINTED ORANGE
- MT-5 4" HIGH CAST IN PLACE CONCRETE CAP TO 3' - 0" A.F.F.
- MT-6 BRAKE MTL. PAINTED DARK BRONZE
- S-1 ENDURING BRONZE COLORED ALUMINUM STOREFRONT AND SUPPORT COLUMNS
- 12 NON-ILLUMINATED THREE STRIPE BAND - SEE SIGNAGE RESOURCE DOCUMENT
- P-1 EXTERIOR DOOR. PAINTED ENDURING BRONZE
- 14 NON-ILLUMINATED WELCOME SIGN - SEE SIGN RESOURCE DOCUMENT
- 15 EXTERIOR BUILDING SIGNAGE - SEE SIGN RESOURCE DOCUMENT

Wall Sign Area: Buildings One-Story in Height

- (1) Minimum Wall Sign Area. Each tenant or user suite shall be permitted a Wall Sign with a Minimum Sign Area of 32 square feet, and such Wall Sign shall be permitted on any exterior wall of the tenant or user suite on the first floor of the building.
- (2) Maximum Wall Sign Area. Each tenant or user suite shall be limited to Wall Sign with a Sign Area no greater than the total Sign Allowance Area defined below for (a) the longest building elevation of the tenant or user suite facing the street, or (b) the length of the building elevation of the tenant or user suite where its principal entrance is located.

- (3) Sign Allowance Area. Sign Allowance Area under this subsection shall mean "for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each one (1) lineal foot of the building elevation adjacent to the suite," and "for buildings set back more than seventy-five (75) feet from the right-of-way, one and one-half (1.5) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite."
- (4) Design. Wall Signs shall fit proportionally with building massing and architectural features of the elevation.

- (6) Length. The length of a Wall Sign shall not exceed eighty (80) percent of the horizontal length of the exterior building elevation of a tenant suite.
- (7) Height. The height of a Wall Sign shall not exceed eighty (80) percent of the vertical dimension of the sign band or wall space on which the sign is placed.
- (8) Placement. Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.



Sign Envelope

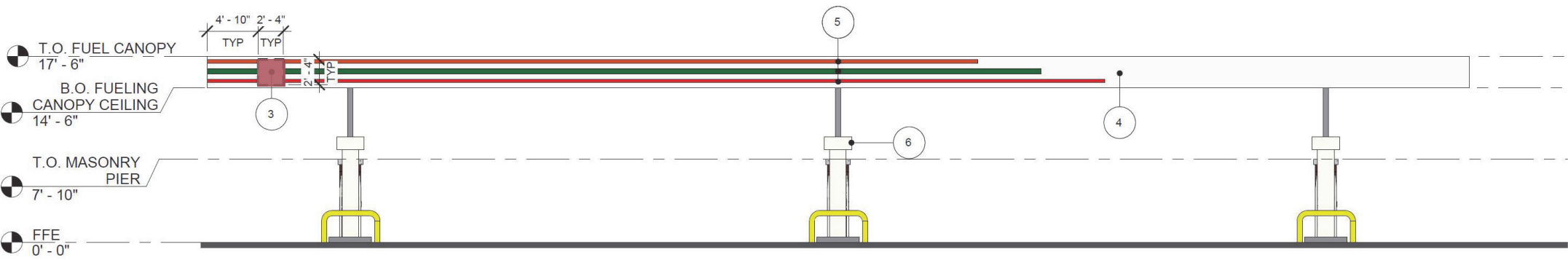
NOTE: Sign Envelopes shown on these elevations are allowed locations where a Building Sign can be displayed, subject to the maximum height and length of the designated envelope in-which a sign can fit within. Multiple lines of copy are permitted.

Architectural features, corporate accents and striping, and other non-signage architectural elements proposed on the building shall require a separate Design Review and Approval by the Town of Gilbert. The architectural striping shown on these elevations are not approved under this Comprehensive Sign Program and shall be addressed on a separate application (see Case# DR21-40).

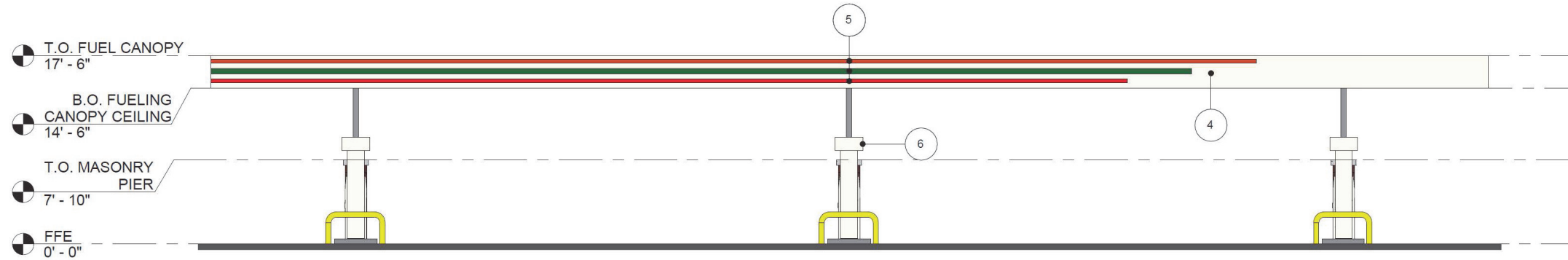
APPROVED
Administrative Design Review
Case # DR17-1099-S-A (DR21-57)
Date 10/14/2021

SIGN BAND ELEVATIONS - PAD A CANOPY STRUCTURE

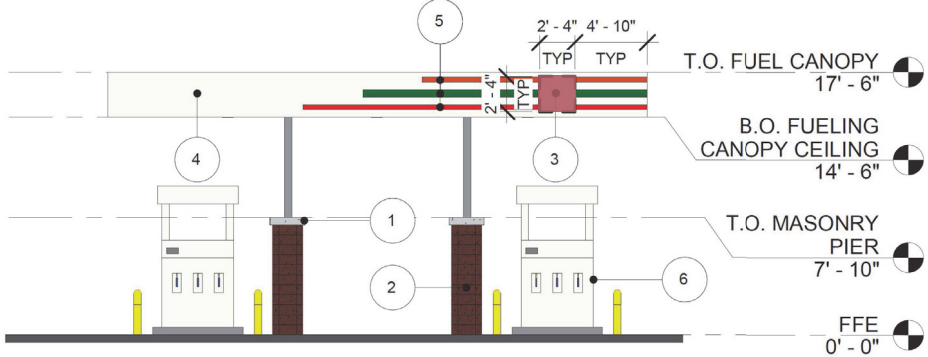
Building Elevations With Proposed Sign Envelopes



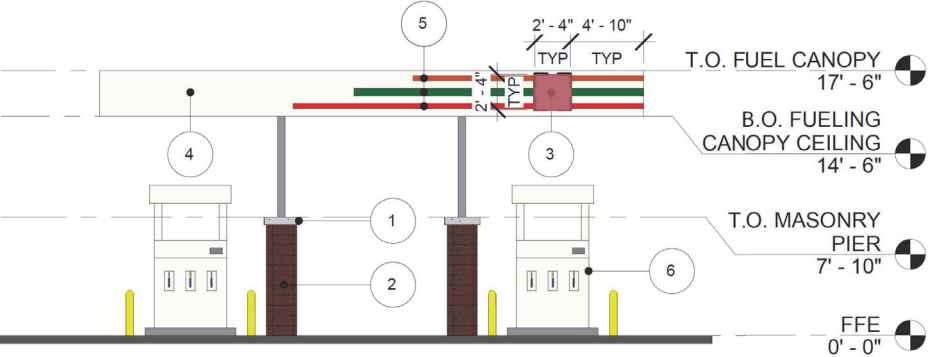
5 EAST
*NOTE: The architectural striping shown on this elevation is not approved under this Comprehensive Sign Program and is addressed on a separate application (see Case# DR21-40).



8 WEST
*NOTE: The architectural striping shown on this elevation is not approved under this Comprehensive Sign Program and shall be addressed on a separate application (see Case# DR21-40).



6 NORTH
*NOTE: The architectural striping shown on this elevation is not approved under this Comprehensive Sign Program and is addressed on a separate application (see Case# DR21-40).



7 SOUTH
*NOTE: The architectural striping shown on this elevation is not approved under this Comprehensive Sign Program and is addressed on a separate application (see Case# DR21-40).

ELEVATIONS
PREPARED BY:
Archicon



KEYED NOTES

- 1 6" HIGH PRECAST CONCRETE CAP TO 7' - 10" A.F.F.
- 2 CMU COLUMN ENCLOSURE PIER TO 7' - 4" A.F.F. PAINTED DUNN EDWARDS BRIAR
- 3 30" x 30" LED ILLUMINATED KEYSTONE SIGNAGE - SEE SIGNAGE RESOURCE DOCUMENT
- 4 WHITE MID BACKGROUND - SEE SIGNAGE RESOURCE DOCUMENT
- 5 ILLUMINATED THREE STRIPE BAND - SEE SIGNAGE RESOURCE DOCUMENT
- 6 MPD

Canopy Signs for Service Islands

Each service island may have up to two (2) Canopy Signs per service island. The Sign Area of a Canopy Sign shall not exceed twelve (12) square feet. No part of the sign shall project from a canopy wall by more than six (6) inches. A Canopy Sign shall be vertically centered on the face of the canopy and the height shall not exceed eighty (80) percent of the vertical dimension of the canopy wall on which the sign is placed. The Sign Area of a Canopy Sign shall not count against the Maximum Sign Area allowed for Wall Signs on the parcel.



Sign Envelope

NOTE: Sign Envelopes shown on these elevations are allowed locations where a Canopy Sign can be displayed, subject to the maximum height and length of the designated envelope in-which a sign can fit within. Multiple lines of copy are permitted.

Architectural features, corporate accents and striping, and other non-signage architectural elements proposed on the building shall require a separate Design Review and Approval by the Town of Gilbert. The architectural striping shown on these elevations are not approved under this Comprehensive Sign Program and shall be addressed on a separate application (see Case# DR21-40).

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